

<b>Committees:</b>	<b>Dates:</b>	
Streets and Walkways Sub-Committee	<b>118/05/2015</b>	
Projects Sub-Committee	16/06/2015	
<b>Subject:</b> EE106 2-6 Cannon Street (Offsite Works) Gateway 4	<b>Gateway 4 Detailed Design</b>	<b>Public</b>
<b>Report of:</b> Director of the Built Environment	<b>For Decision</b>	

### Summary

#### *Dashboard*

- Project Status: Green
- Timeline:
  - Outline design proposals agreed in November 2014
  - Detailed proposals agreed May 2015
  - Authority to start works (Gateway 5) December 2015
  - Implementation programmed for March 2017
- Total Estimated Cost: £1,133,048 - £1,288,048
- Spend to Date: £ 17,000 (refer to Table 1)
- Overall project risk: Green

This report seeks approval from Members of detailed design options for proposed off-site landscape works associated with the development proposal for 2-6 Cannon Street. This report also seeks approval to progress the proposals towards Gateway 5.

#### **Background**

The City of London (COL) has worked closely with the developer of 2-6 Cannon Street to produce a set of integrated, high quality, landscape design proposals for off-site works (refer to Appendix 1 for a site location plan). This will be in accordance with landscaping planning conditions attached to planning permission approved for the redevelopment of 2-6 Cannon Street. These off-site proposals are intended to integrate with the proposed development and highway remediation on Distaff Lane.

On-site landscape improvement works are also proposed, which integrate the development within private land but do not form part of this project. This will also be in accordance with the landscaping planning conditions attached to planning permission approved for the redevelopment of 2-6 Cannon Street.

All consultancy fees and staff costs are being paid for by the developer of the 2-6 Cannon Street development and it is proposed that further preparation of construction package, preparation for implementation and delivery now be taken forward by the City (in consultation with the developer).

#### **Progress to date**

Since the Gateway 3 report in July 2014, the developer has appointed landscape architecture consultants to deliver detailed design proposals which are set out in Appendix 2. Officers have worked in partnership with the developer and their consultants to further develop proposals, ensure they accord with the needs of the

City community and confirm preliminary costs, details of which are set out in Section 1 of the main report.

As set out in Section 1 of the main report, officers have identified that the garden which forms part of the on-site works may require protection from antisocial behaviour at night. A Public Space Protection Order (PSPO) is needed because the gardens are on public highway and adjacent to a night club. The feasibility of a PSPO will require further evaluation with City of London Police and if deemed appropriate, would allow the on-site garden to be gated.

### **Proposed way forward**

The City will be able to prepare for implementation once the following actions are completed:

1. Further payments totalling £84,402 have been received from the developer for staff costs and fees (refer to Table 1).
2. Appropriate approvals and consents are in place to enable the works to be carried out.

### **Procurement approach**

All hard landscaping works will be paid for by the developer and carried out by the City's term contractor for highways, J.B. Riney.

Soft landscaping for the off-site works will be paid for by the developer and implemented by the Open Spaces Department. The City will fund and continue to be responsible for the cleaning of the area as at present, therefore the project is anticipated to be cost neutral to the street cleansing budget. The draft Section 106 agreement states that the developer will be responsible for repairing any damage to any elements that represent betterment, for example planting, irrigation, lighting, furniture or planter walls for a duration of 20 years. The agreement also states that the developer will provide 20 years planting maintenance for the off-site works which amounts to £85,025. This figure includes the existing Open Spaces costs of £1,415 per year for maintenance currently carried out in the area.

### **Recommendations**

Officers recommend:

- 1) Members approve the proposals for Areas shown marked 9, 10, 11 and 12 as shown in Appendix 2, and allow the project to continue to Gateway 5. Noting progress will be subject to receipt of additional funding from the developer, as set out in Table 1.
- 2) Members authorise the Comptroller and City Solicitor to enter into appropriate agreements with the owners of land (and other stakeholders) as necessary to carry out the proposals in Recommendation 1 where the works are on or adjacent to their properties.
- 3) Members endorse exploration in respect of a Public Space Protection Order for the highway area marked Area 8 in Appendix 2.

## Main Report

<p><b>1. Design summary</b></p>	<p>The offsite proposals at Areas marked 9, 10, 11 and 12 in Appendix 2 are provided to mitigate the impacts of the 2- 6 Cannon Street development, especially the increased building footprint. The proposals are intended to deliver a high quality cohesive set of improvements to help integrate the on-site landscape works and development into the surrounding area. The proposals include the following:</p> <ul style="list-style-type: none"><li>• New York stone paving, high quality planting and planting beds, new seating, reoriented steps and high quality lighting to the City Walkway Area off Distaff Lane adjoining St Nicolas Cole Abbey and Old Change House (shown marked as Area 10 in Appendix 2).</li><li>• A new raised area of carriageway in granite setts on Distaff Lane (shown marked as Area 9 in Appendix 2)</li><li>• York stone paving to the length of Distaff Lane and adjoining land fronting Bracken House (shown marked as Area 12 in Appendix 2)</li><li>• New planting and paving to the area between Queen Victoria Street and St Nicolas Cole Abbey (shown marked as Area 11 in Appendix 2).</li></ul> <p>Anti skateboarding measures will be considered and incorporated as part of the construction drawing package.</p> <p>Benefits of the scheme include:</p> <ul style="list-style-type: none"><li>• High quality public realm enhancement is delivered around St Nicholas Cole Abbey and to Distaff Lane, at no cost to the City.</li><li>• The materials and specification of footways along Distaff Lane are upgraded, from asphalt to York stone, to ensure consistency with Street Scene Manual.</li><li>• Raised carriageway and realigned kerb line to reduce carriageway width on Distaff Lane between on and offsite works area. The raised carriageway improves access for wheelchair users and pedestrians. The increased footway width provides more room for pedestrian movement and reduces the visual dominance of the road surface.</li><li>• Increased amounts of planting to provide a more inviting environment and increased biodiversity in the area.</li><li>• Increased provision of opportunities for formal seating on the furniture provided in line with City's access</li></ul>
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	<p>requirements.</p> <ul style="list-style-type: none"> <li>• LED up lighting and strip lighting enhances ambience at night and makes passive surveillance easier.</li> <li>• St Nicholas Cole Abbey will benefit from new steps, re-orientated to better cater for north-south pedestrian access and an new paving and planting to a space by the Queen Victoria Street entrance to the church.</li> </ul> <p>The Planning and Transportation Committee approved planning permission on 1 December 2014 for the redevelopment of 2-6 Cannon Street. This is subject to planning conditions and Section 106 covenants to secure appropriate arrangements and funding for the implementation of on-site and off-site public realm improvements.</p> <p>Due to concerns over potential antisocial behaviour occurring in the on-site works area, officers have also discussed potential ways to protect the proposed on-site gardens. The gardens form part of the 2-6 Cannon Street development works being implemented as part of the planning permission. Because the garden is on land designated as public highway, public access cannot be obstructed without either a Public Space Protection Order (PSPO) approved by the Court of Common Council, or a Gating Order approved by a magistrate.</p> <p>A PSPO may be made where antisocial behaviour has had or is likely to have a detrimental effect on the quality of life on the local community and the restrictions are justified (Anti-social Behaviour, Crime and Policing Act 2014). A PSPO also allows the obstruction of public access during hours of darkness and the introduction of barriers such as gates. Consideration of a PSPO requires extensive consultation, including with the City Police.</p> <p>The feasibility of a PSPO will be evaluated in collaboration with City of London Police and if deemed appropriate, would allow the on-site garden to be gated..</p> <p>Members are asked to note that if the PSPO criteria have been satisfied for the on-site works area, a separate report will be submitted to the Court of Common Council seeking authority to commence consultation on the order.</p>
<p><b>2. Confirmation that design</b></p>	<p>The design proposals have been reviewed internally by departments including Access, Highways, Transportation,</p>

<p><b>solution will meet service requirements</b></p>	<p>Cleansing, Planning, Open Spaces, CoL Police and Development Management. Comments have been received and incorporated into the proposals.</p>
<p><b>3. Budget</b></p>	<p>A total project cost range of £1,133,048 - £1,288,048 has been estimated based on outline design proposals. This cost will be further refined at Gateway 5, after construction drawings have been prepared and costed, and structural investigations have been undertaken. The total cost range of £155,000 allows for estimations in cost on specific elements such as:</p> <ul style="list-style-type: none"> <li>• Relocated staircase/retaining wall (£240,000 - £305,000)</li> <li>• Waterproofing of any underground structures (£60,000 - £105,000)</li> <li>• Utilities (£50,000 - £80,000)</li> <li>• Archaeology (£15,000 - £30,000).</li> </ul> <p>As shown in Table 1 below, the developer has funded the work of consultants directly and deposited £17,000 with the City to cover staff costs. This funding has now been spent and an advance on Section 106 funding of £85,402 for staff costs and fees has been requested from the developer to allow progress to continue to Gateway 5.</p> <p>An estimate of costs to reach the next gateway and beyond is provided in Table 1 respectively, provided by the City's Highways team.</p>

**Table 1: Estimate of project costs**

Item description	Spend to date (£)	Estimated costs (£) to Gateway 5	Estimated costs (£) to Gateway 7	Subtotal (£)
Works costs	-	-	929,192	929,192
Transportation and Public Realm staff costs	17,000	13,000	37,000	67,000
Highways staff costs	-	22,402	-	22,402
Highways supervision staff costs	-	-	69,979	69,979
City Surveyors staff costs	-	5,000	5,000	10,000
Open Spaces staff costs	-	5,000	5,000	10,000
Consultant civil engineer's fee	-	20,000	-	20,000
Consultant structural engineer's fee	-	20,000	-	20,000
20 years planting maintenance	-	-	85,025	85,025
Utility Works	-	-	49,400	49,400
Traffic Order costs	-	-	4,800	4,800
TMA 2004 Notification (£250/Opening)	-	-	250	250
<i>Total</i>	<i>17,000</i>	<i>85,402</i>	<i>1,185,646</i>	<i>1,288,048</i>

**4. Risk**

The most significant risks are set out below. They relate to both stakeholders and how the space will be used.

- 1) The Section 106 funding for the proposals will not be made if the 2 – 6 Cannon Street development is not implemented. Planning permission was granted on 1 December 2014, and the developer intends to implement the proposal subject to discharging the planning conditions and Section 106 covenants.
- 2) The owners of land where the proposals are to be implemented do not consent (on reasonable terms) to the works being carried out on their land. Discussions with affected land owners have taken place and they have agreed in principle to the offsite works which are minor in nature.
- 3) Nearby drinking establishments are perceived as a source of anti-social behaviour late at night. There is a risk that this behaviour may result in damage to the on-site works unless gates are installed and locked at night. Officers will investigate whether a PSPO is an appropriate mechanism to use to allow the area to be gated. If not, the developer has agreed to pay for and

	repair any damage to the onsite works.
<b>5. Next Steps</b>	<p>Design development will be progressed, subject to funds being provided by the Developer of 2 – 6 Cannon Street.</p> <p>All necessary consents and approvals to carry out the works will be sought.</p> <p>A PSPO will be explored and, if appropriate consulted on and reported to Court of Common Council.</p> <p>A construction package and a detailed cost estimate will be prepared for Gateway 5 and reported back to Members in December 2015.</p>

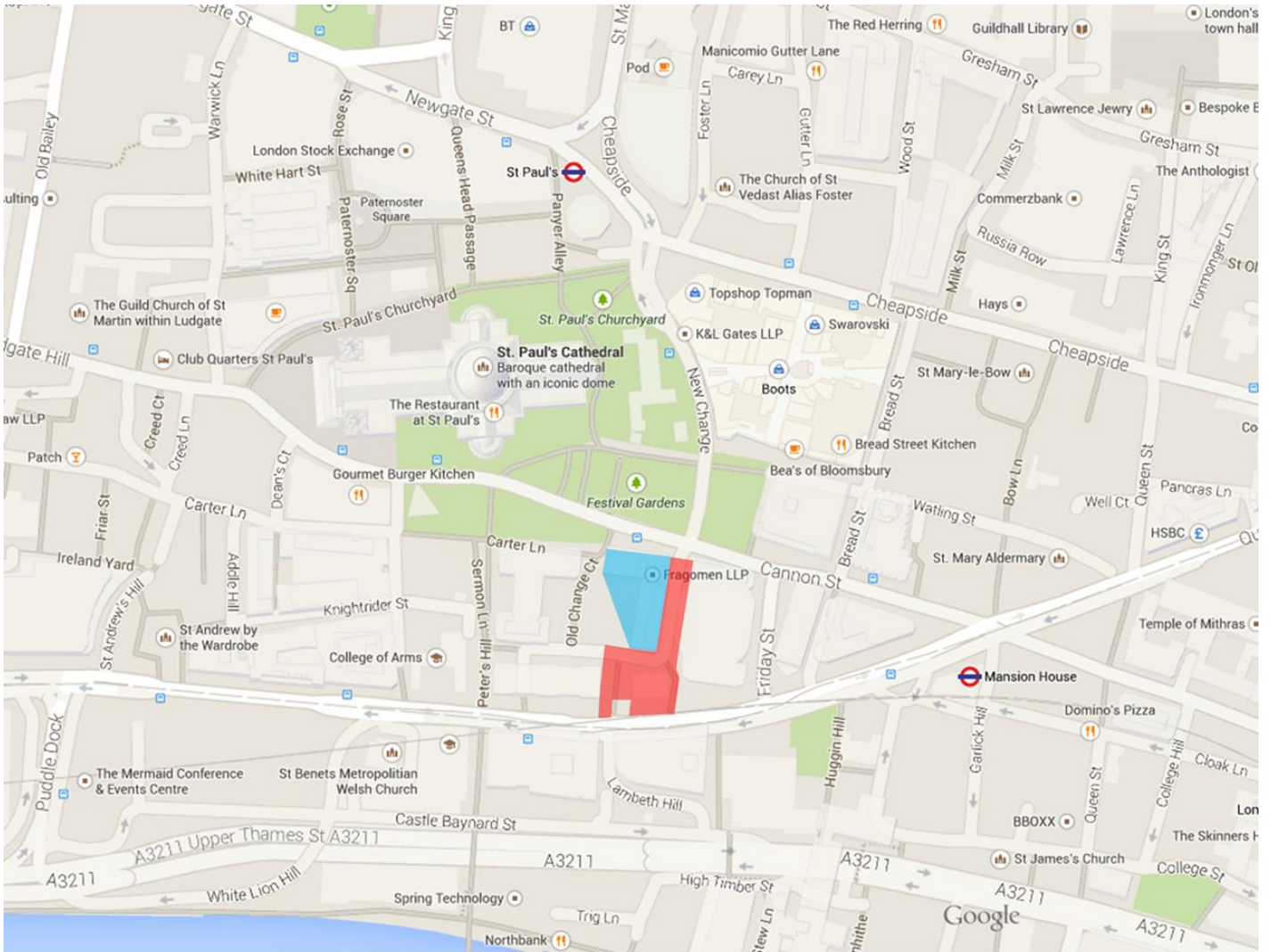
### **Appendices**

<b>Appendix 1</b>	Site location plan
<b>Appendix 2</b>	Detailed design proposals

### **Contact**

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# Appendix 1: Site location plan



-  2-6 Cannon St
-  Offsite works



## Appendix 2: Detail design proposal

### a) Context – Illustrative master plan showing broader opportunities



#### Notes:

1. Enhanced pocket space with planting creating a buffer against the office building, seating and informal play opportunities.
2. New pocket space with planting, seating and trees
3. Refurbish steps including carborundum strip
4. Area of additional planting with pocket spaces
5. Replant circular planters
6. New seating
7. Existing street trees
8. New public garden with planting, seating and trees
9. Reduced carriageway width to increase pedestrian space and enhance the connection between the spaces to the north and south
10. Enhanced garden space with areas of seating and planting
11. Creation of a pocket space with public seating
12. Enhanced materials and streetscape along Distaff Lane



b) Perspective view of offsite works

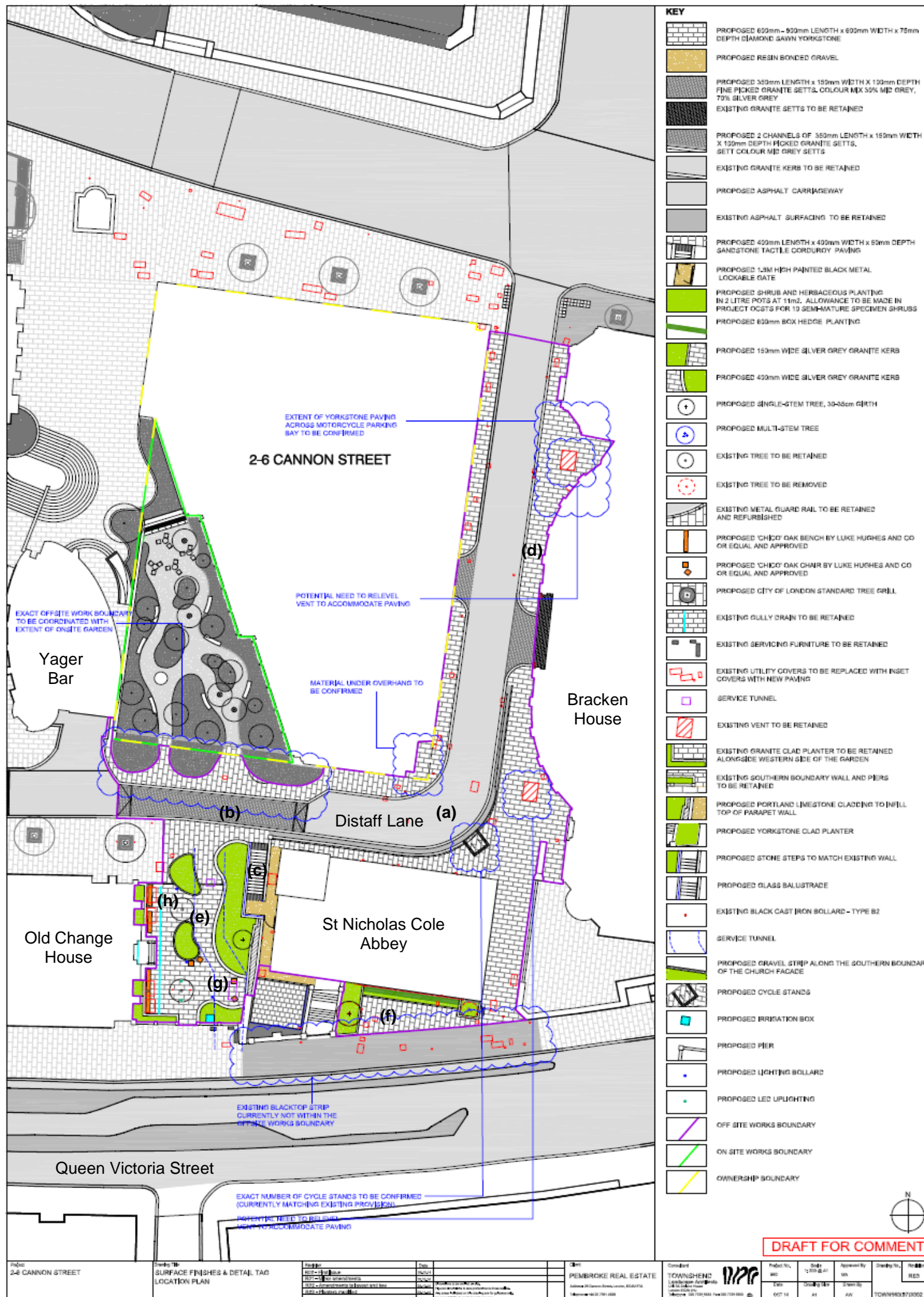








d) Key benefits and relationship between on and offsite landscape works



**Benefits:**

- a) High quality public realm enhancement is delivered around St Nicholas Cole Abbey and to Distaff Lane, at no cost to the City.
- c) St Nicholas Cole Abbey benefits from new steps, re-orientated to better cater for north-south pedestrian access.
- e) St Nicholas Cole Abbey has access to an outside space for additional activities or meetings during summer months.
- f) St Nicholas Cole Abbey will be provided with an enhanced front apron along Queen Victoria façade.
- g) Increased opportunities for seating both in the furniture provided and on the walls of planters.
- h) LED up lighting and strip lighting enhances ambience at night and makes passive surveillance easier.

- b) Raised and reduced carriageway width between on and offsite works increases available pedestrian space and reduces the visual dominance of the road surface.
- d) The materials and specification of footways along Distaff Lane are upgraded, from asphalt to York stone, to ensure consistency with Street Scene Manual.

**Drawbacks:**

Space will remain open to the public and be at risk of vandalism. A Public Space Protection Order will be recommended under a separate reporting process.



e) Materials, planting and finishes



Seats in sociable clusters



Existing garden boundary to be retained



Yorkstone creates a warm palette



Stone kerb edging to planting. Yorkstone paving



Potential to use the same high quality paving in the garden adjacent to 2-6 Cannon Street and in the garden beside the Abbey to connect the gardens across Distaff Lane



Seasonal accents in the planting



Clustered seating in sociable groups



Herbaceous and evergreen planting



Planting beside seating



Sinuous planter forms



f) Sections showing relative heights of planting beds and walling.

